



PROJECT DESCRIPTION

This project is a renovation of existing house. The rear addition of the house will be removed (due to damage) and rebuilt. Some living area will be added to the rear of the house.

SQUARE FOOTAGE

Existing - Total	1,970SF
Existing - Living	1,812 SF
Front Porch	157 SF
Add-on Sq footage	302 SF
New - Total	2,271 SF
New - Living	2,114 SF.

ZONING

The site is zoned HU-RD2 and a residence- is conforming use.

CODES

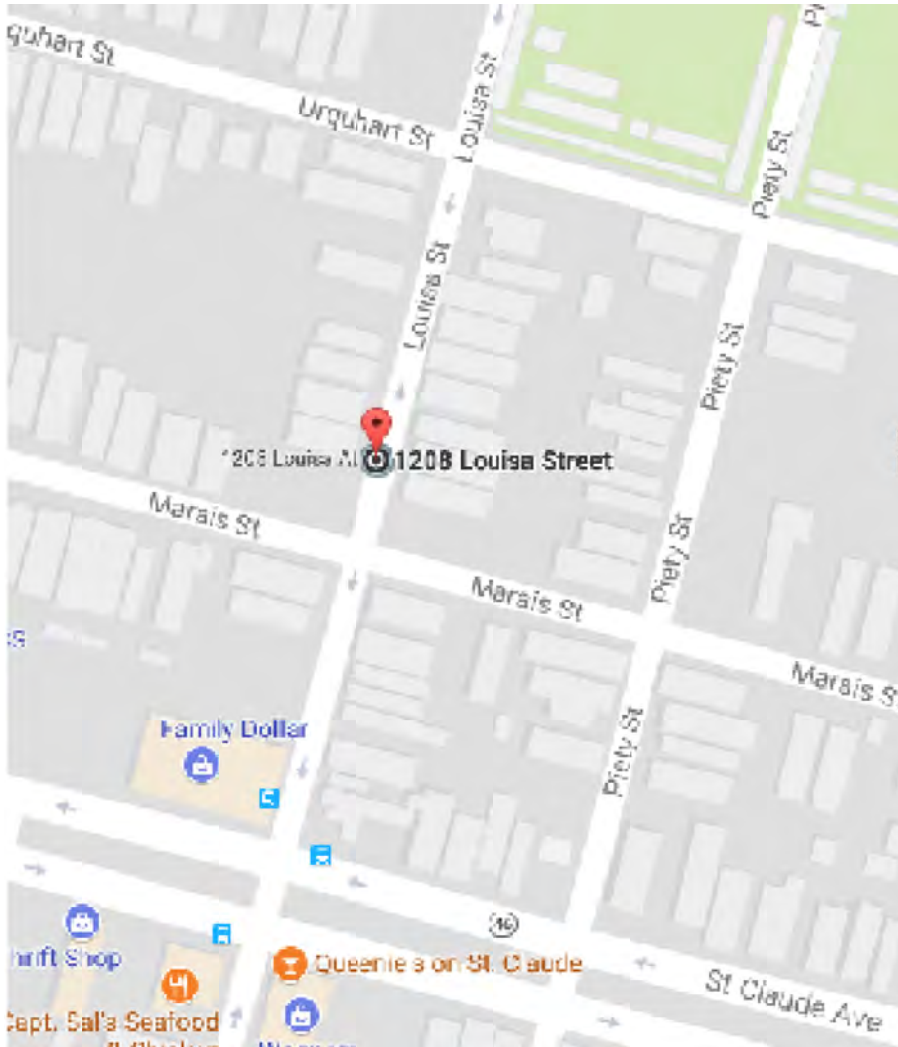
- These drawings are prepared to meet:
- International Residential Code 2012
 - Wind Loads of 130 MPH (Basic Wind Speed Exposure B)

DRAWING INDEX

- 1 General Information
- 2 Existing Building Photos
- 3 Site Plan & Demolition Notes
- 4 Elevations & Roof Plan
- 5 Floor Plan & Schedules
- 6 Electrical & Mechanical
- 7 Framing & Roof Sections
- 8 Exterior Details
- 9 Interior Details
- 10 Plumbing Riser Diagram

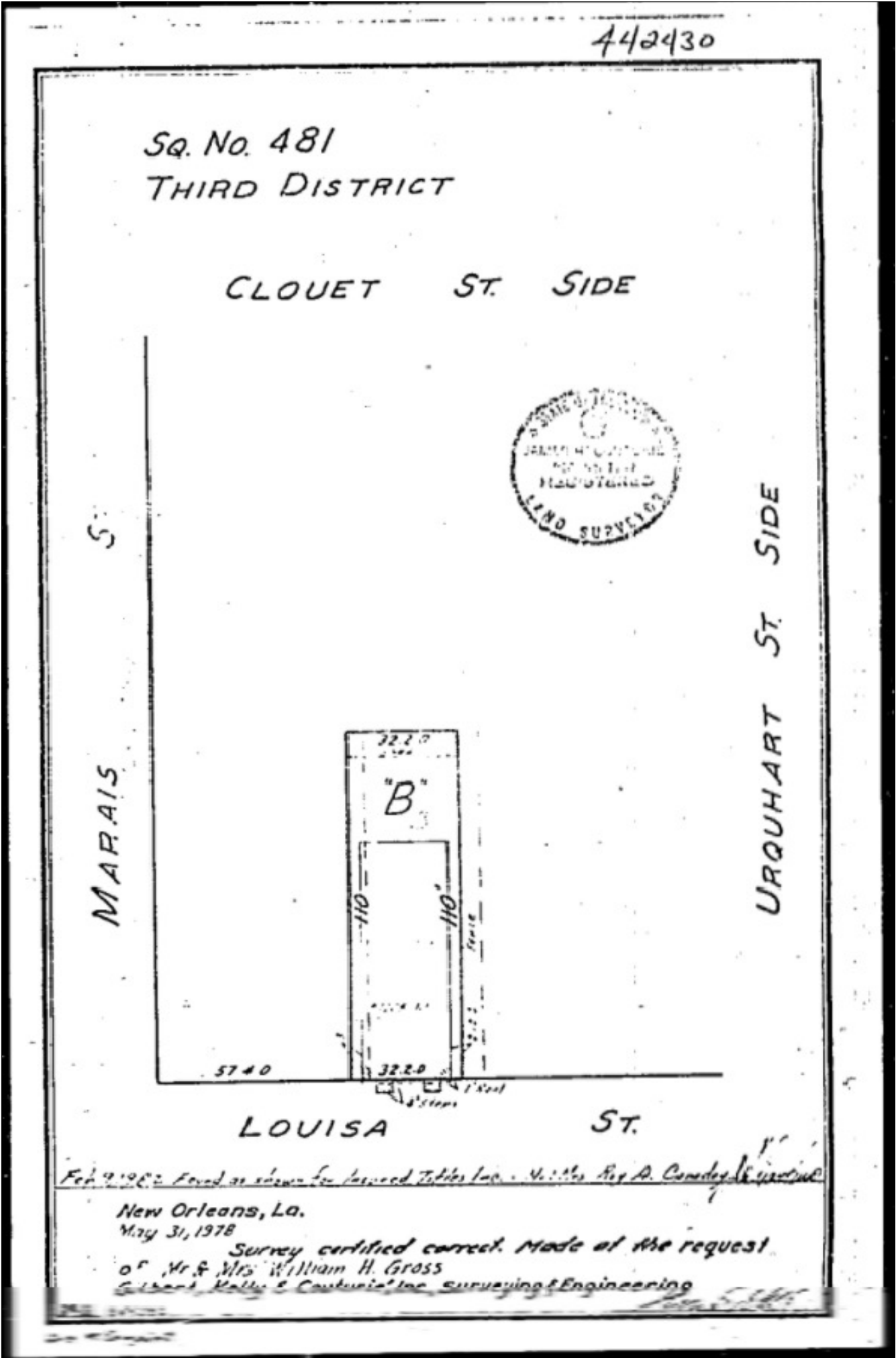


FRONT OF HOUSE



MAP LOCATION

SURVEY



GENERAL NOTES

- Prior to commencing work, Contractor shall review carefully all aspects of the required work, including all plans and specs. Contractor to bring items that might require additional costs or a change in the Plans to Owner's attention.
- Contractor shall at times keep Property clean and debris free. All waste and debris shall be properly contained and disposed off timely.
- All materials and work shall conform to all governing codes, regulations and agencies. No work shall be concealed until approved by local inspectors. Contractor shall ensure all materials and work comply with applicable governing codes.
- Contractor and major subcontractors are to familiarize themselves with the construction site, verify locations of all utilities and arrange for securing house, prior to construction.
- Contractor shall install and provide all safety barriers during construction as necessary to protect the public from injury. Contractor to also secure Property to prevent intrusion by people and to limit water intrusion.
- Do not rely only on scaling drawings. If dimensions are in question then Contractor to clarify with Owner prior to continuing.
- All dimensions are from finish face to finish unless noted otherwise.
- All rated partitions shall be tightly sealed to the underside of structure. Integrity of one-hour rated partitions and smoke partitions shall be maintained at corners and at intersections of other partition types.
- Exterior walls less than 3 ft from property lines must be fire resistant, rated at one hour with exposure from both sides as required by R302.1 IRC 2012 Ed, as amended by the City of New Orleans.
- Joints occurring in rated drywall partitions shall be staggered both horizontally and vertically.
- All walls and floor openings shall be fire stopped with an approved non-combustible material mechanically fastened in place to provide an effective and approved fire stop. An approved non-combustible material to provide an approved seal to prohibit the passage of fire or smoke.
- Do not substitute or eliminate materials, products or equipment unless such substitution have been "specifically approved in writing" for this work by the Owner.
- Provide blocking for all surface mounted or recessed items such as bath accessories (towel bars and TP holder), grab-bars, closet rods and shelves, drapery rod, shower curtain rods, etc.
- Contractor shall be responsible for the coordination of mechanical, electrical, plumbing, etc work so that the work in the field will achieve the design criterion set out in the architectural package.
- Construction of all vertical openings (shafts) shall be in accordance with all code requirements.
- All subcontractor to seal all penetrations, seams, openings through rated walls and/or floor-ceiling assemblies with fire sealant and/or intumescent pipe wraps. Intumescent pipe wraps to be used at all pvc piping that penetrates rated assemblies. Seal all penetrations through all partitions.

HDLC General Notes:

1. All HardiePlank siding must be "smooth" finish - faux wood-grain texture not permitted.

2. All trimwork, including window and door trim, fascia and skirt boards, corner boards, column and beam wrap, etc. must be wood. HardieTrim or other composite materials are not permitted without specific written approval from the HDLC.

LOUISIA

1208-10 LOUISA ST, NEW ORLEANS, LA 70117

GENERAL DESCRIPTION

Designed:	
Drawn:	GURU
Checked:	JG
Approved:	JG
Scale:	1/4" = 1'
Date:	09-10-17
Project No:	
Sheet No:	1



FRONT OF HOUSE



REAR OF HOUSE



LEFT SIDE OF HOUSE



RIGHT SIDE OF HOUSE

Final location and type of vents to be submitted to the HDLC for approval prior to purchase or installation.

NOTES

- Add 4 soffit vents to underneath side of front porch

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LOUISA STREET

FRONT
SIDE

26'-1"

PORCH

Property line

Left side Fence is newly built and
approved by HDLC for 1204 Lousia.

LEFT SIDE

AREA TO BE DEMOLISHED
AND REBUILT

AC Condenser unit on roof

Landing

PATIO

8'

REAR YARD AREA

Existing Wood fence
to remain

Property line

REAR
SIDE

32.2'

87'

110'

23'

Existing Metal fence to remain

RIGHT SIDE

New wood fence @ rear yard
~~to match one on left side.~~
*per HDLC detail on Sheet 8;
limited to 7'-0" in height

PROPOSED SITE PLAN

SITE PLAN INFORMATION TAKEN FROM ACCESSOR'S PROPERTY DESCRIPTION & SURVEY
SCALE: 1/4" = 1'

ZONING, DEMO & LOT INFORMATION

Zoning/District: HU-RD2
Lot Dimensions: 32.2' W X 110' D
Lot Area: 3,542 SF
Proposed Floor Area: 1,866 SF

Proposed Setbacks:
0"- 0" Front Side (no change)
30' - 0" Rear side (-2'-0")
3' -0" Left Side (no change)
3'-0" Right Side (no change)

Proposed Height: No Change

Demolition Estimate:

Existing - 1,866 SF
Removed – 365.4 SF
Replaced - 365.4 SF

Roof:
Removed - 186ft²
Replaced - 186ft²

Exterior Walls:
Removed – 54 LF
Replaced – 54 LF

Encroachments on Public Property: None

GENERAL DEMOLITION NOTES

- Rear portion of house to be demolished, back to rear gable end.
- Existing foundation/piers to remain and reused.
- New portion of house to be rebuilt in same spot, per Plans.
- Walls less than 3 ft from property line must be fire resistance rated at one hour, as required by R302.1 IRC 2012 ED, and as amended by the city of New Orleans.

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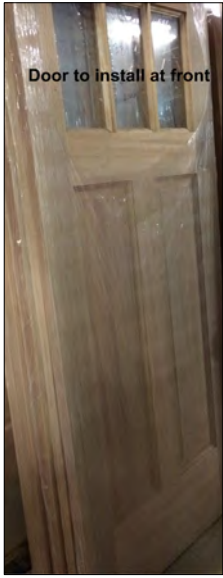
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PROPOSED NEW FRONT DOORS

*Doors to fit existing openings without infill or other modifications - verify dimensions prior to ordering

Repair existing window, replace to match, or submit shop drawings, product information, or photographs of selected window prior to purchase.

Fixed stain glass window to go here. New sill to match other windows.



FRONT ELEVATION



SIDE ELEVATION

HDLC General Notes:
1. All HardiePlank siding must be "smooth" finish - faux wood-grain texture not permitted.
2. All trimwork, including window and door trim, fascia and skirt boards, corner boards, column and beam wrap, etc. must be wood. HardieTrim or other composite materials are not permitted without specific written approval from the HDLC.

SIDE ELEVATION NOTES

- Wood siding to be removed and replaced with smooth finish Hardie lap siding, with a 5" reveal.
- Windows to be repaired and reused, in same location. See window schedule for details on windows.
- The sill and casing surrounding windows to be reused, where available. If replaced, then Spanish cedar or equivalent exterior grade wood to be used and custom made to match the existing.

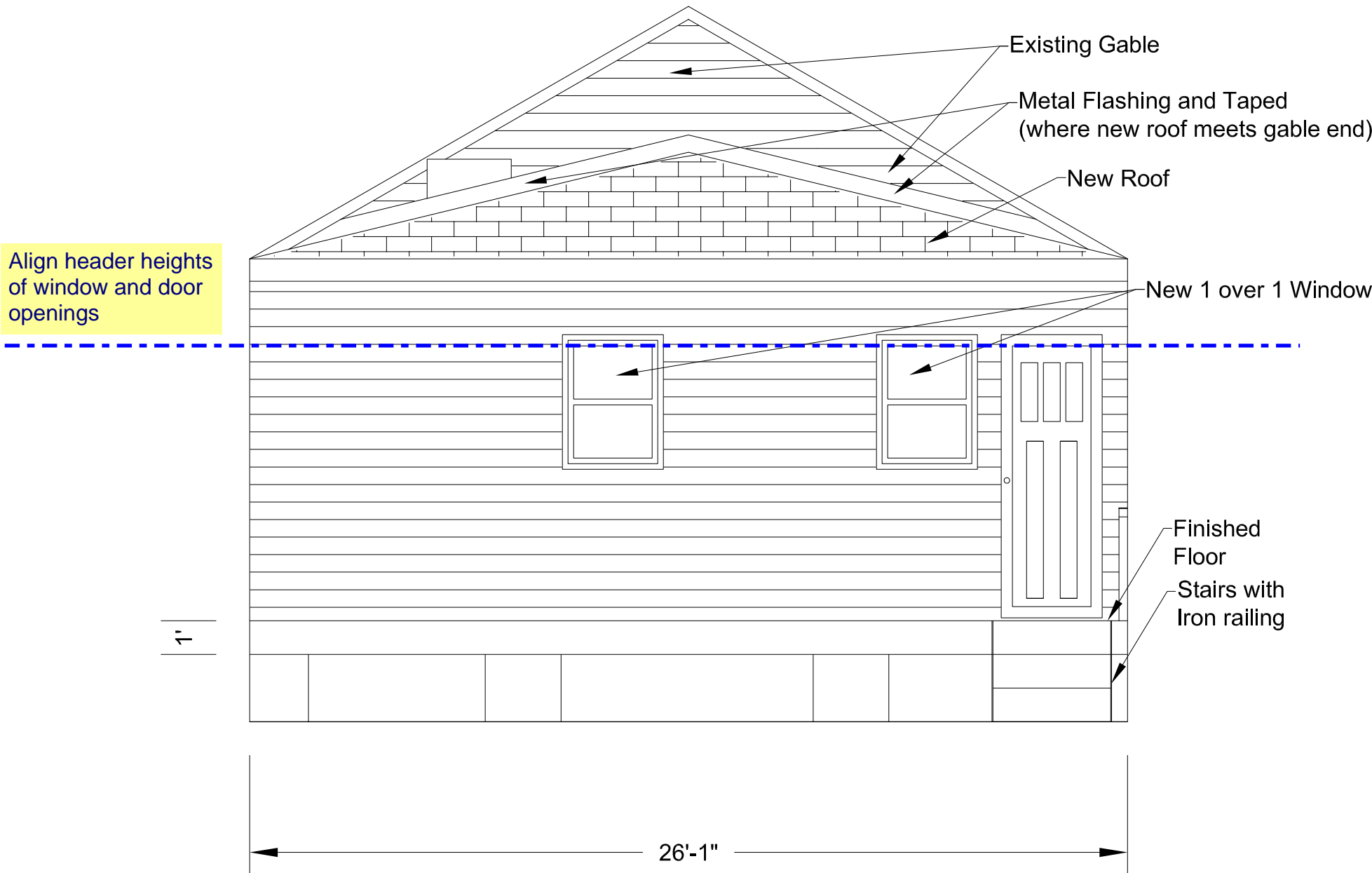
FRONT ELEVATION NOTES

- Wood siding (on front porch and gable) and the existing corner boards to be sanded and painted. Remain the same. Barge rafter to be replaced to match existing.
- New iron handrails and railing installed around front porch – to match existing
- Front door units:
 - ⇒ The existing frame with the sidelites and transom on the front door units to remain the same. Glass replaced as needed.
 - ⇒ Door slabs to be replaced with new doors. See photo of proposed new doors, with 3 upper lites.
- Front columns to be replaced. See Column and Beam Notes on Sheet 8-Exterior Details.

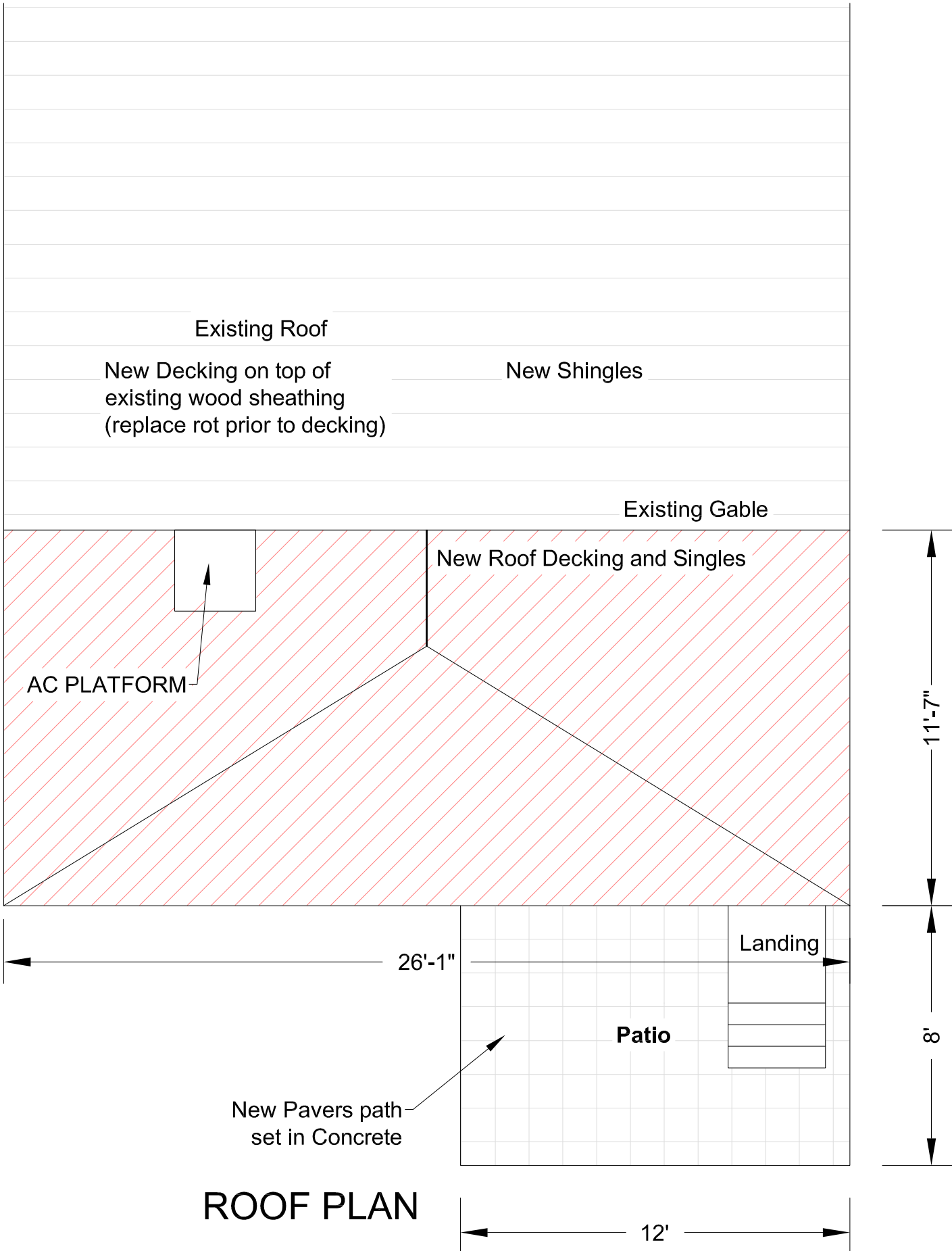
ROOFING NOTES

- Tear off existing roof shingles down to original decking material. Old glue, nails, flashing must all be pulled off and left clean.
- The existing 1x wood sheathing to remain in place with new 4x8 roof sheathing installed over it. The new sheathing is 5/8" OSB or Regular 5/8" CDX Plywood with 15# felt. IF the existing 1x wood sheathing is rotted, then it must be removed first. The new sheathing should be installed in the normal new house fashion so that all joints fall on a rafter. Do not rely on the existing 1x wood as support for the joints.
- Install GAF Timberline Natural Shadow Weathered Wood, according to manufacturer's specs. Use nailing pattern for high wind.
- Existing ridge tiles to be reused or replaced.
- 2 low profile vents. *see HDLC note below
- Use BROWN aluminum drip edge on perimeter of house.
- See Eave Detail. Extra care given along perimeter of roof since there is no overhang. Use oversized L-flashing on perimeter.
- Furnish all new metal flashing, valleys, wall, apron, etc as needed.
- All new plumbing vents.
- The 4th Chimney at rear, above roofline, needs to be repointed and secured and properly flashed.
- Include hauling away all debris.
- Run magnet on ground after completion each day and leave broom clean.

*Low-profile roof vents must be located a minimum of 10'-0" back from the front wall of the house, 1'-0" from the roof ridge, and 1'-0" from the roof eave. Vents may project no more than 8" above the roof surface.



REAR ELEVATION



ROOF PLAN

LOUISIA

1208-10 LOUISA ST, NEW ORLEANS, LA 70117

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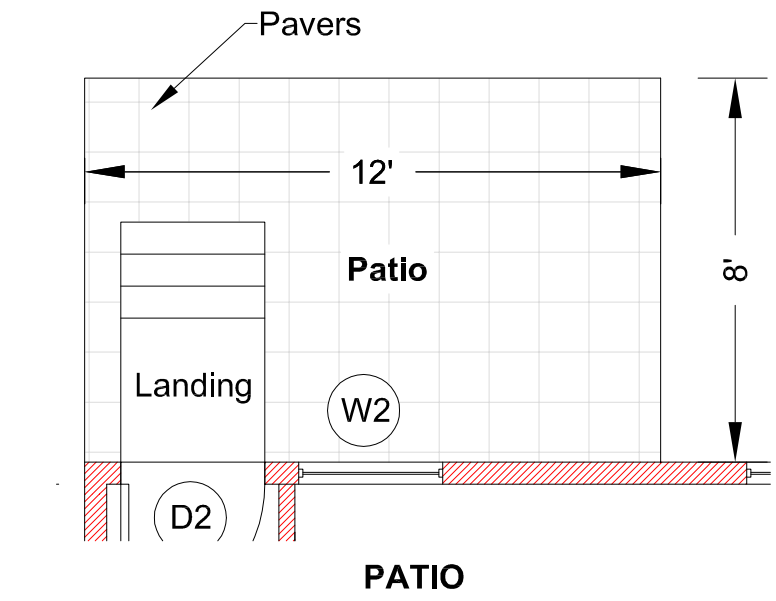
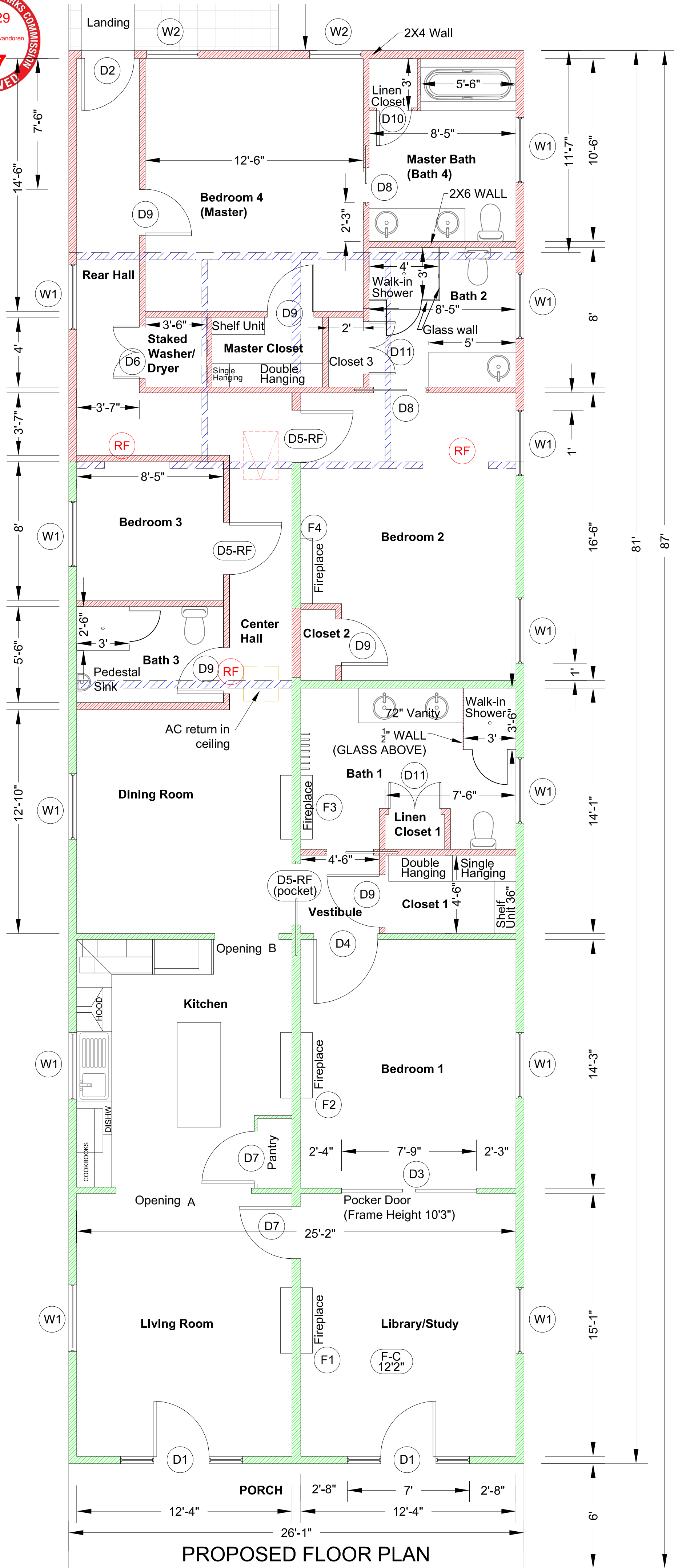
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- LEGEND:
- WALL TO REMAIN
 - WALL TO BE REMOVED
 - NEW WALL
 - NEW ROOF
 - Relocate Frame

DOORS SCHEDULE						
Plan Mark	Door and/or Frame	Qty	Size	Handling	Location	Remarks
D1	Front Doors. Existing frame/sidelites. New door slabs only	2	3'-0" x 8'0"	1 LH 1 RH	Exterior Front Doors	Keep existing frame with sidelites/transom. Install new slabs-trimmed to fit in frame. Doors to have 3 upper lites-see photo
D2	Back Door. New door unit. No transom	1	3'-0" x 8'0"	1 RH	Exterior. New Back Door-to rear yard	Install new door unit w/ frame. Door to have 3 upper lites-see photo Install Sill Pan.
D3	Existing pocket doors in frame	1	existing	Pocket doors	Between Living/Study and Bedroom 1	Large pocket doors. Keep in place.
D4	Existing frame-same spot. New door slab installed.	1	3'-0" x 8'0"	1 LH 1 RH	Bedroom 1 to Bath 1	Existing frame, with transom. Install new door in existing frame.
D5-RF	Relocated frames w/ transom. New door slabs	2	3'-0" x 8'0"	2 LH	Bedroom 2, Bedroom 3	Relocated door frames (moved from other spot) and install new door slabs, with correct swing
D5-RF (pocket)	Relocated frame w/ transom. New door-as pocket door	1	3'-0" x 8'0"	Pocket door	Dining to Vestibule	Relocated door frame. Custom make this frame into a pocket door
D6	New double door unit. No transom	1	3'-0" x 8'0"	Set of double swing doors	Laundry Closet	New frame and Louvered doors. No transom.
D7	Existing frame & existing doors. Stay same.	2	existing	1 LH 1 RH	Between front rooms, Pantry	Doors and frame-remain As Is.
D8	New pocket door units. No transom.	3	2'-8" x 8'0"	Pocket door	Bath 1 ,Bath 2 and Master Bath	New frame and door.
D9	New frame with door. No transom.	5	2'-8" x 8'0"	1 LH, 4 RH	Closet 1, Closet 2, Master Closet, Master Bedroom, Bath 3	New frame and door.
D10	New frame with door. No transom.	2	2'-0" x 8'0"	1 LH, 1 RH	Linen Closet in Master Bath, Closet 3	New frame and door.
D11	New frame with door. No transom.	2	3'-0" x 8'0"	Set of double swing doors	Closet 1, Master Bath Linen Closet	New frame and door.
RF	Relocate Door Frame (use new door slab)	3	existing		Relocated	Door frame (no existing door) removed and relocated

Doors to fit existing openings without infill or other modifications - verify dimensions prior to ordering

DOORS, OPENINGS AND WINDOW NOTES	
1	All new doors to be 8'-0" tall. On some of the existing frames, there is a fake transom bar that should be removed. The new doors are trimmed to fit under the ORIGINAL transom bar, which is to remain.
2	On all new door and window units, the casing is to match the existing in the house as close as possible--on interior and exterior
3	On all existing doors, existing transoms to remain. The glass to be cleaned or replaced so that it is clear.
4	Where door frame is 'turned into' an opening, then spackle frame so that it doesn't look like a door goes there.
5	On the front door units. They will be removed during raising of front wall of house-a new threshold will need to be built for both units to allow for the difference in height after front wall is raised.
6	For all existing doors and door frames, all of the existing hardware should be removed and given to Owner. Use Bondo or other hard agent to fill the holes in doors and frames because new hardware (hinges and knobs) are to be installed.
7	New windows will need an extra wide jamb for all walls, except rear wall.

OPENINGS SCHEDULE					
Plan Mark	Qty	Size	Handling	Location	Remarks
Opening A	1	Existing pocket door frame with no doors in it	Opening	Living Rm to Kitchen	Pocket door frame with no doors. Keep AS IS
Opening B	1	Existing door frame with no door in it	Opening	Kitchen to Dining Rm	Existing door frame with no door. Spackle to look like no door intended there.

FIREPLACE SCHEDULE				
PLAN MARK	SIDE OF HOUSE	WIDTH	LOCATION	DESCRIPTION - WORK TO BE DONE
F1	Left Side	3'-9"	Living Room	Remain AS IS with mantel.
	Right Side		Library/Study	Remain AS IS with mantel.
F2	Left Side	3'-9"	Kitchen	Remain AS IS with mantel.
	Right Side		Bedroom 1	Remain AS IS with mantel.
F3	Left Side	3'-8"	Dining Room	Remain AS IS with mantel.
	Right Side		Hall to Hall Bath	No mantel. Sheetrock around fireplace-will see 'boxed out' section.
F4	Left Side	3'-9"	Half Bath	Build wall to cover the fireplace and sheetrock. Wall is even-no boxed out section.
	Right Side		Bedroom 2	No mantel. Sheetrock around fireplace-will see 'boxed out' section.
Fireplace No.4 has chimney thru roof. Bricks to be pointed and chimney flashed and secured. Must look original per HDLC.				

WINDOW SCHEDULE			
PLAN MARK	SIZE	LOCATION	REMARKS
W1	Existing	All except rear wall of house	Repair and Reuse existing windows
W2	3'-0" x 5'-0"	Master Bedroom and Master Bathroom	New window units, 1 over 1. These windows are installed in new framing.

HDLC + VCC

APPROVED MORTAR FORMULA

MORTAR

- part Portand Cement
 - parts lime
 - parts sand
- enough water to form a workable mix

Repair/re-point existing brick chimney, as necessary, with mortar of the same strength, consistency, and color to match existing as per testing or using mortar formula above.

New windows must be recess-mounted and have wood flat exterior casings, drip caps, and sills to match dimensions and profiles of existing window casings, see attached detail "A".

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LOUISIA

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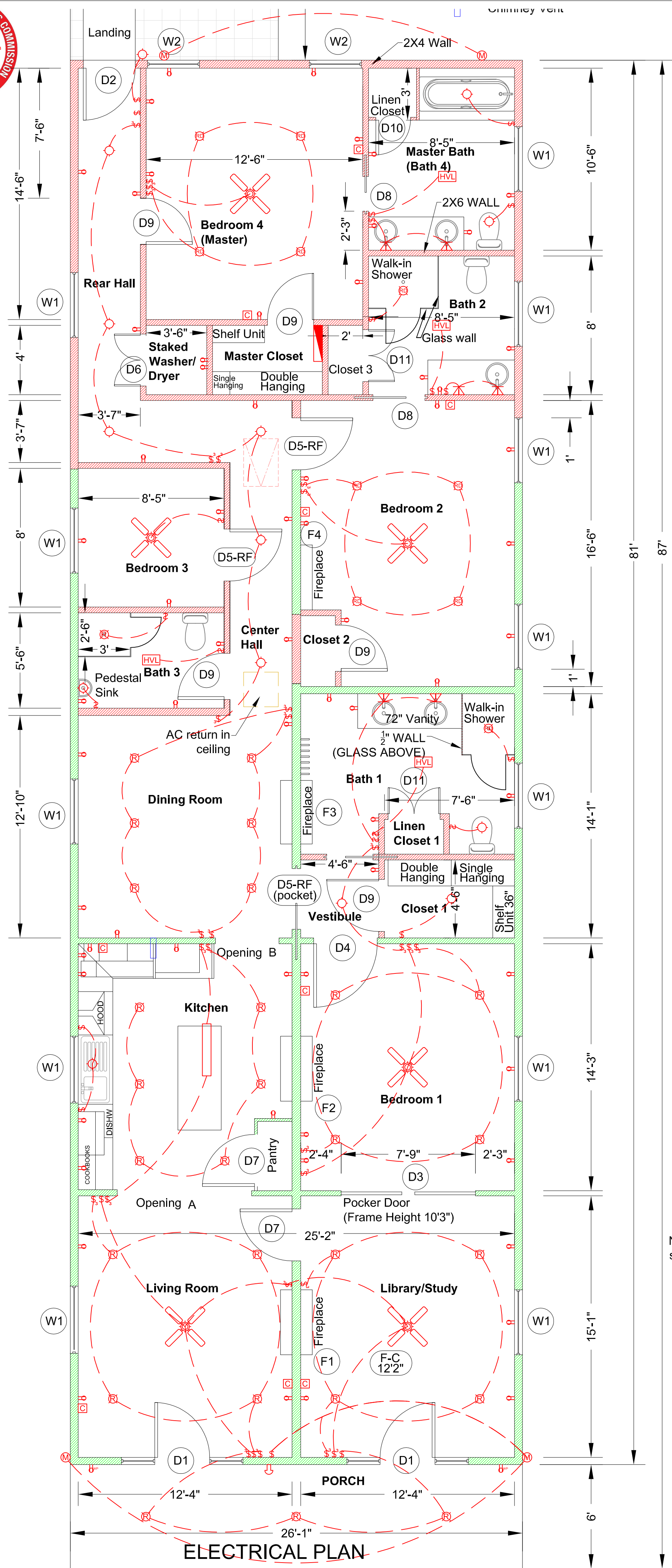
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- LEGEND:
- Motion Light
 - Ceiling Light
 - Recessed Ceiling Light
 - Recessed Ceiling Light with Dimmer
 - Wall Mounted Light
 - Toggle Switch
 - 3 Way Switch
 - Standard Duplex Plug
 - Weather Proof Duplex Plug
 - Door Bell
 - Cable
 - Heater Vent Light
 - Fan with Light
 - Electrical Panel
 - Chimney Vent

HDLC Notes:

*Submit product information for all new exterior light fixtures for HDLC review and approval prior to purchase or installation.

MECHANICAL AND PLUMBING NOTES

- All work to be performed by licensed individuals, as stated by law. Work to comply with applicable codes. If design does not meet code, then Contractor to bring to Owner's attention.
- Stove and water heaters to be gas
- Bathrooms shall be ventilated mechanically in accordance with Section 1507 of the IRC 2012.
- Provide and install (2) new gas water heaters in attic. Exact location to be approved by Owner. Heaters to be zoned, not in series.
- HVAC system to be designed by others. Return air on Plan is for visual purposes only as exact size to be made by HVAC contractor. Ideally it should be placed in the section of the house with 10 ft ceilings and not in the 12 ft section so that Owner can easily replace filter. HVAC sub to advise.

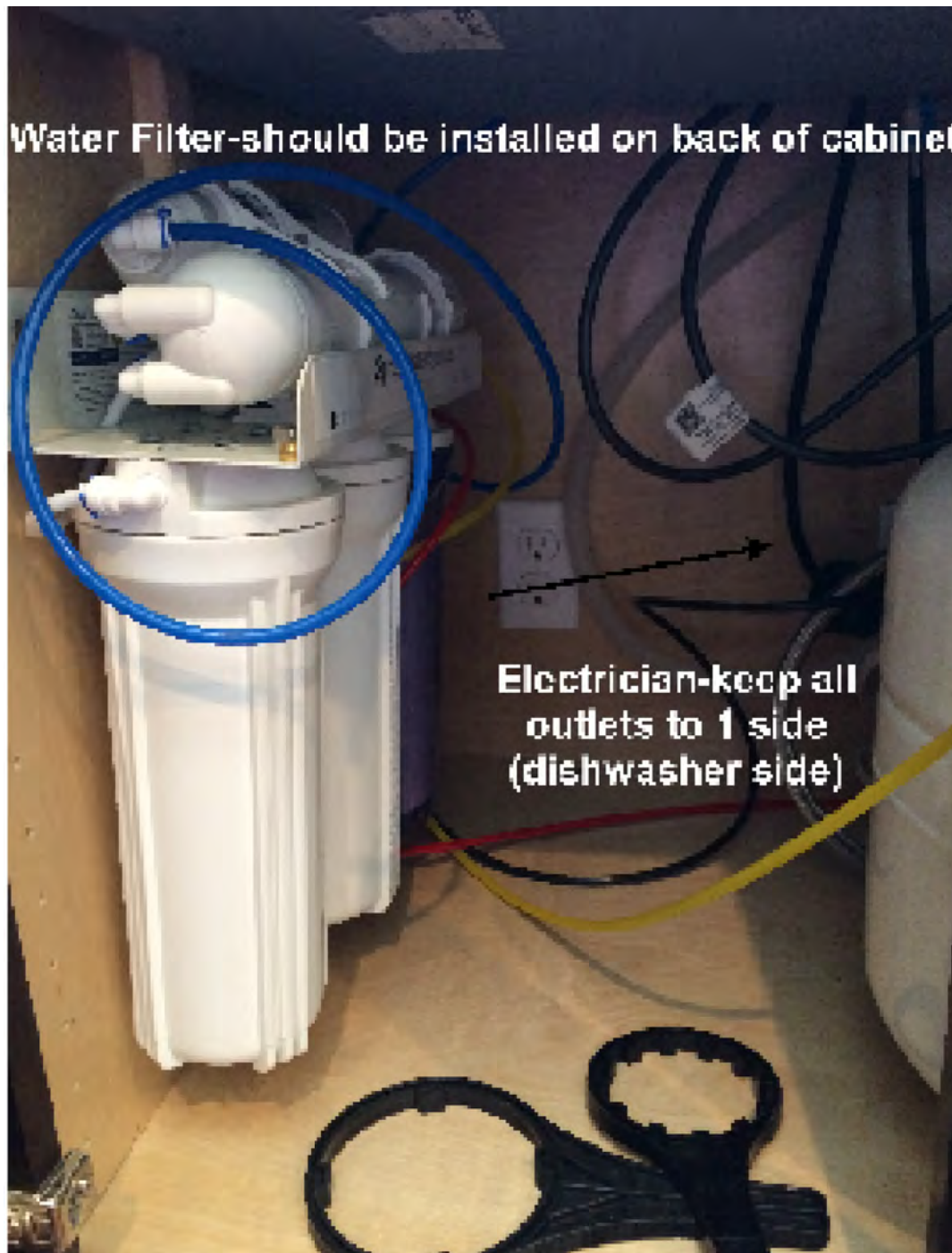
ELECTRICAL NOTES

- Bathrooms shall be ventilated mechanically in accordance with Section 1507 of the IRC 2012
- Smoke detectors shall be provided outside of all sleeping areas pursuant to Sec R314, IRC 2012.
- Carbon monoxide detectors shall be installed each separate sleeping areas.
- All HVL should be placed on a separate, *stack* switch provided by electrician.
- All fans to have 2 switches: light and fan.
- Colored outlet (to match cabinets) at end kitchen peninsula and exposed end of all vanities (if vanity has a wall on each end, then does not apply).
- Electrician to provide temporary panel or to verify existing panel can be used during construction.

SECURITY, CABLE AND LOW VOLTAGE NOTES

- Cable run at locations indicated on Plans
- Alarm/security system run with two keypads. Monitored smoke detectors for future home monitoring.

ELECTRICAL. (2) overhead attic lights installed with switch for both near access opening.



WATER FILTER UNDER SINK



FOR ALL END OF VANITIES

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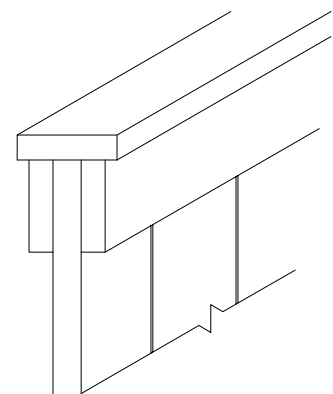
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FRONT COLUMNS & BEAM NOTES

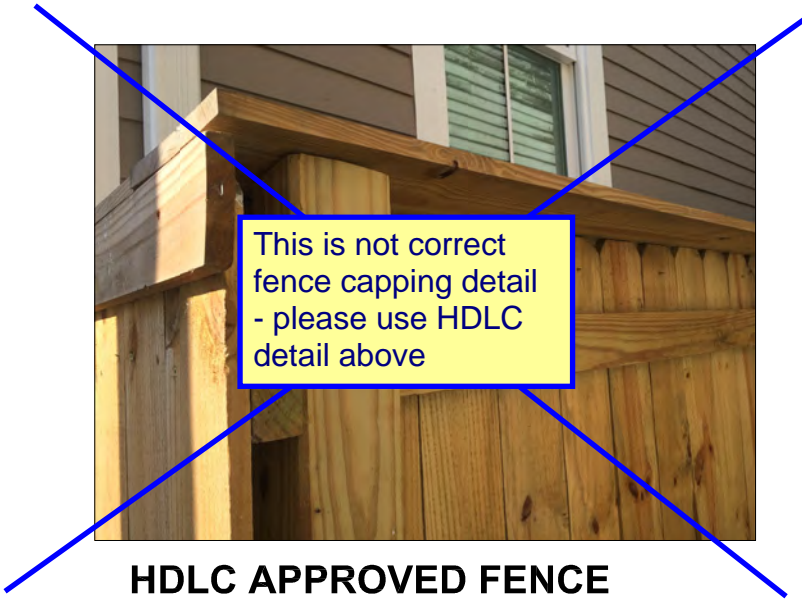
- Shore and level front beam.
 - Remove existing columns. Install (3) new treated 6X6 posts, with connectors at top and bottom. See Simpson connector details.
 - Attach base of posts to concrete porch using hurricane rated lag bolts and/or epoxy bolts into concrete.
 - Wrap posts with ~~HardieBoard~~ or Spanish cedar to the exact size of existing columns- see photo of measurement-shim treated posts as needed so finished columns are 9-1/4". Install molding at top and bottom of new columns to match original. Hide connectors.
- *Column wrap must be wood - HardieBoard not permitted. Seams of columns wrap to face sides or back of columns; seams should not face street



COLUMN MEASUREMENT



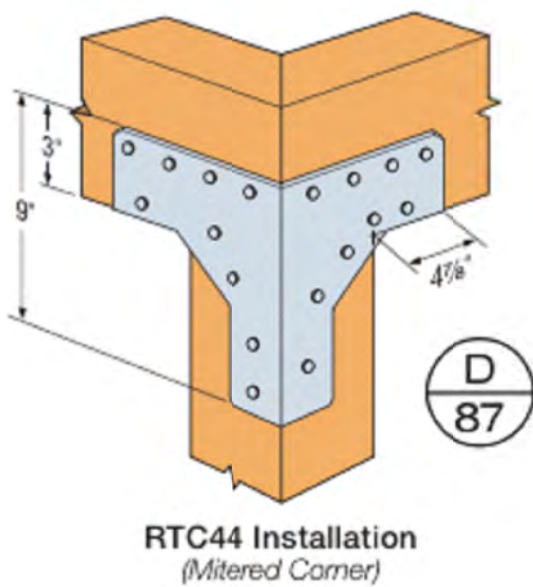
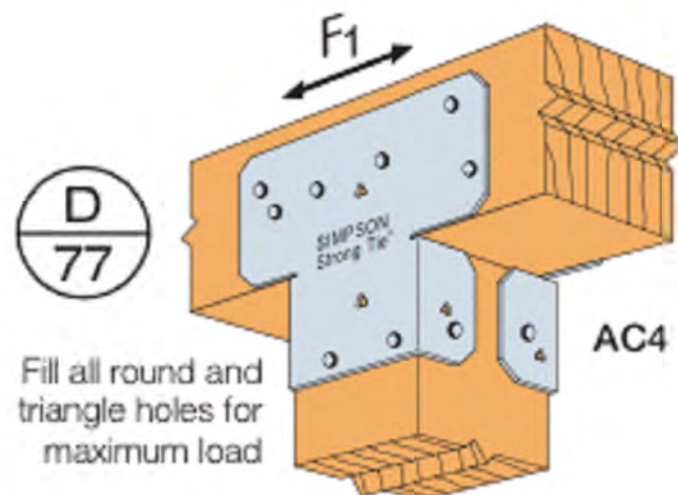
HDLC FENCE DETAIL



HDLC APPROVED FENCE

FENCE NOTES

- All metal fences removed, except on right side of house.
- Metal gates at front of house to remain.
- Existing wood fence on left side. This is a new fence built for 1204 Louisa and approved by the HDLC. This same fence to be built on right side of rear yard where fence is currently missing. See photo. **New fence to be built per HDLC detail above - do not match neighbor's fence*
- Existing wood fence across back of lot to remain.



REAR STAIR & LANDING NOTES

- Off back door, build a 3' x 3' landing and rear steps - to be built with treated pine, stained not painted.
- Iron railings and handrails - the same as used on front porch. See photo.
- Stairs to be built per Exterior Stair Detail.

STAIR NOTES

RISERS:

- The riser shall be measured vertically between leading edges of the adjacent treads.
The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8".
- Install treated 1 x on risers.
- Max riser height shall not exceed 7-3/4".

TREADS:

- Stair treads to be made from (2) 2 x 8 treads so they are wider than typical.
- Min. tread width shall be 10" measured from nosing to nosing.

RAILINGS:

- Width of stairs shall not be less than 36" in clear width, at all points.
- Guardrails shall be a minimum of 36" tall.

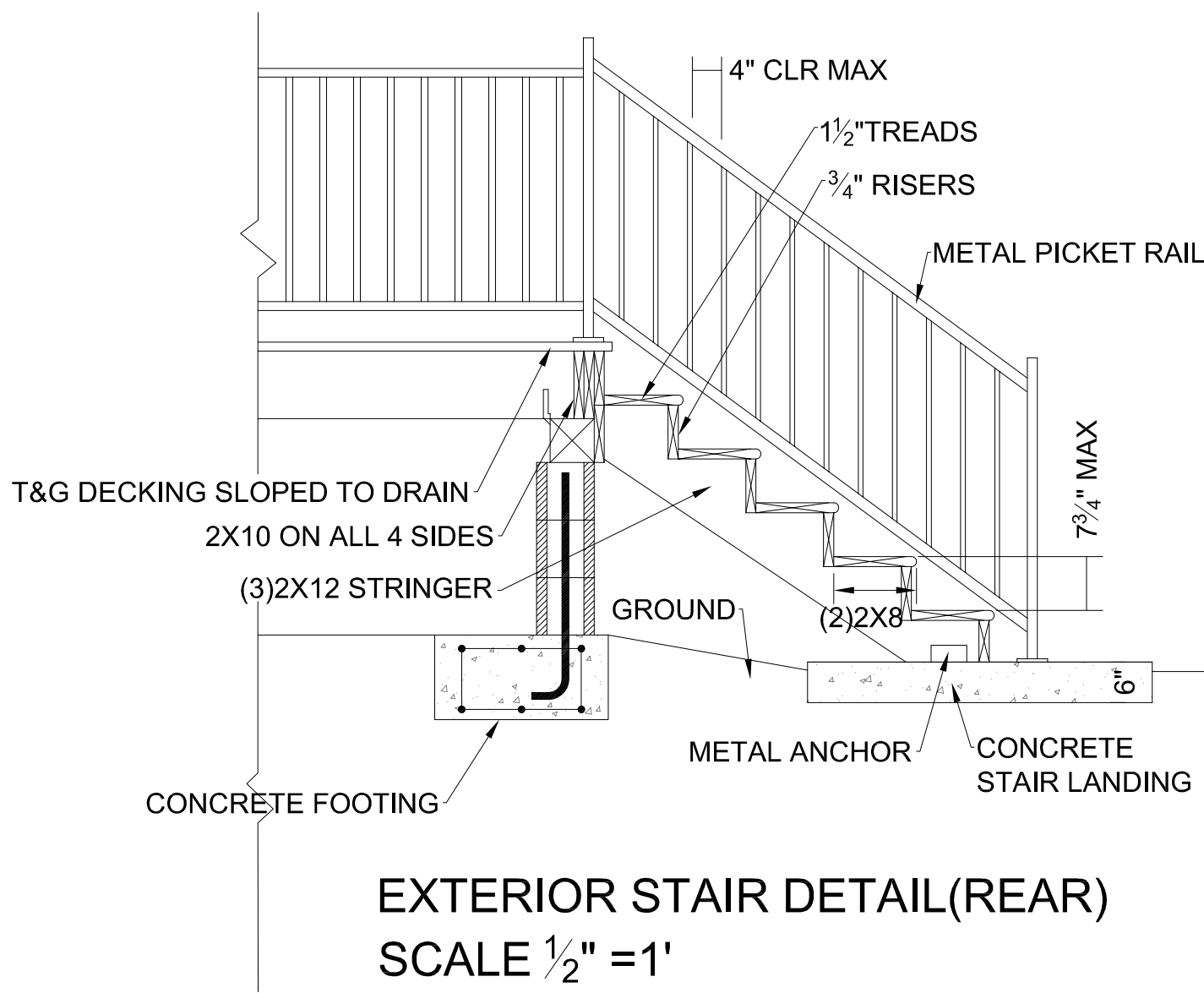
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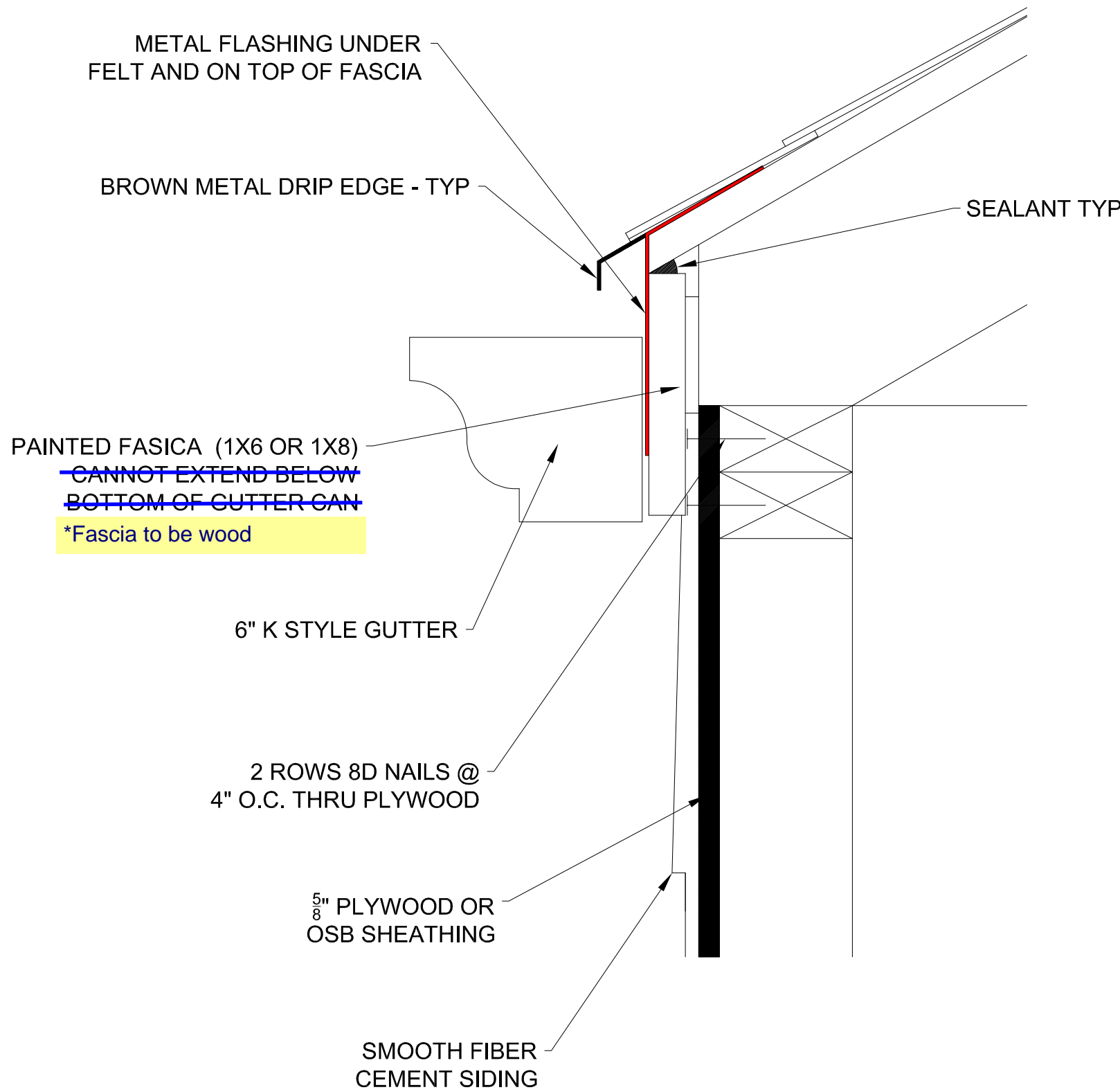


REAR PATIO, STEPS & LANDING

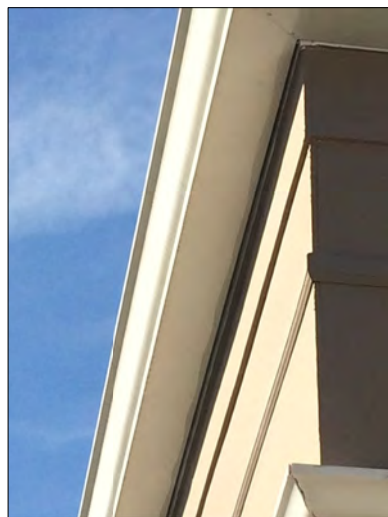
- Off back door, build a 3' x 3' landing and rear steps- to be built with treated pine, stained not painted.
- Patio built by installing pavers on a concrete base



EXTERIOR STAIR DETAIL(REAR)
SCALE 1/2" = 1'



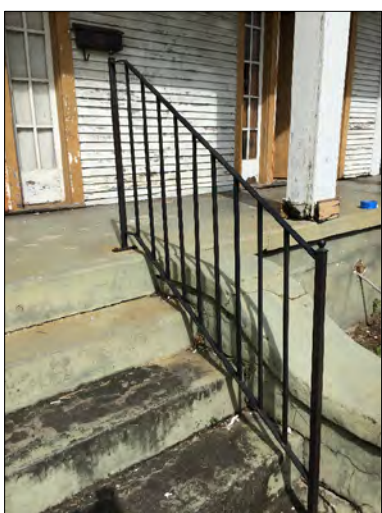
EAVE AND GUTTER DETAIL
SCALE 3"=1'



EAVE, GUTTER, NO SOFFIT

EAVE & GUTTER NOTES

- No soffit overhang.
- See Eave and Gutter Detail and Photo
- Install 6" K-style, aluminum gutters.



IRON RAILING

IRON RAILING NOTES

- New iron railing installed around front porch, with guardrails installed on existing front steps.
- Iron railings installed on rear steps-see Exterior Stair Detail.
- Iron railing to match existing in appearance: plain square tubing. **solid metal pickets*
- Iron railing shall not be aluminum.
- Railings to be painted black, primed carefully with high adhesion primer.

**All railing members to be solid metal - tube aluminum and steel not permitted. No added decoration (scrollwork, fleur-de-lis, etc.)*



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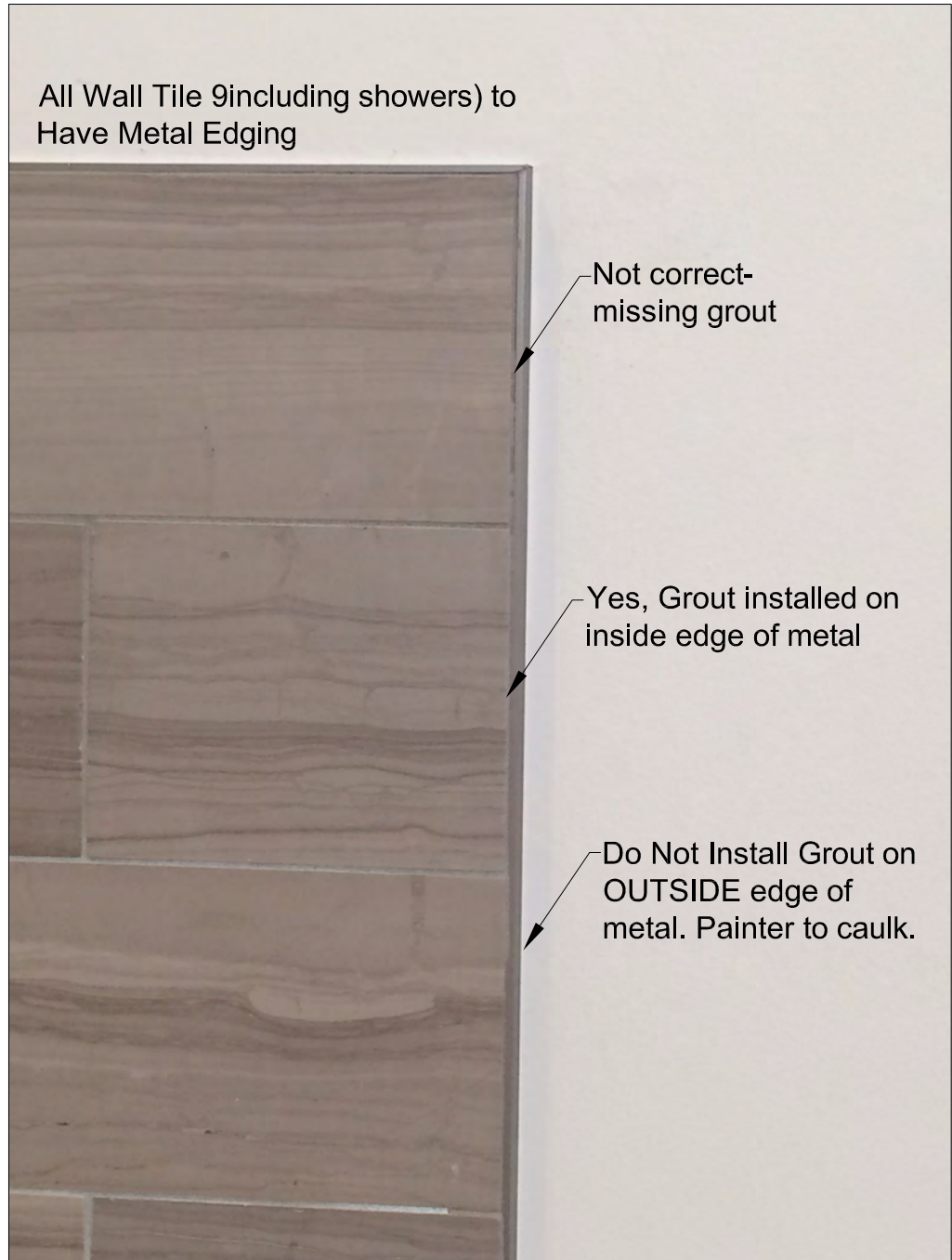
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SHELF UNIT



DOUBLE AND SINGLE HANGING



METAL EDGING ON TILE



METRO TILE SHAMPOO NICHE

CLOSET NOTES

- Closet shelving to be 1x12 wood, painted
- Closet shelves to have 1x2 facing except for shelf units or shelves inside utility closets.
- Hanging spaces to have rods installed
- All shelf units-when indicated on Plans-to be the same size as the Shelf Unit Detail
- All hanging-Double or Single-to be built per Closet Hanging Detail
- Build to Utility Closet Detail

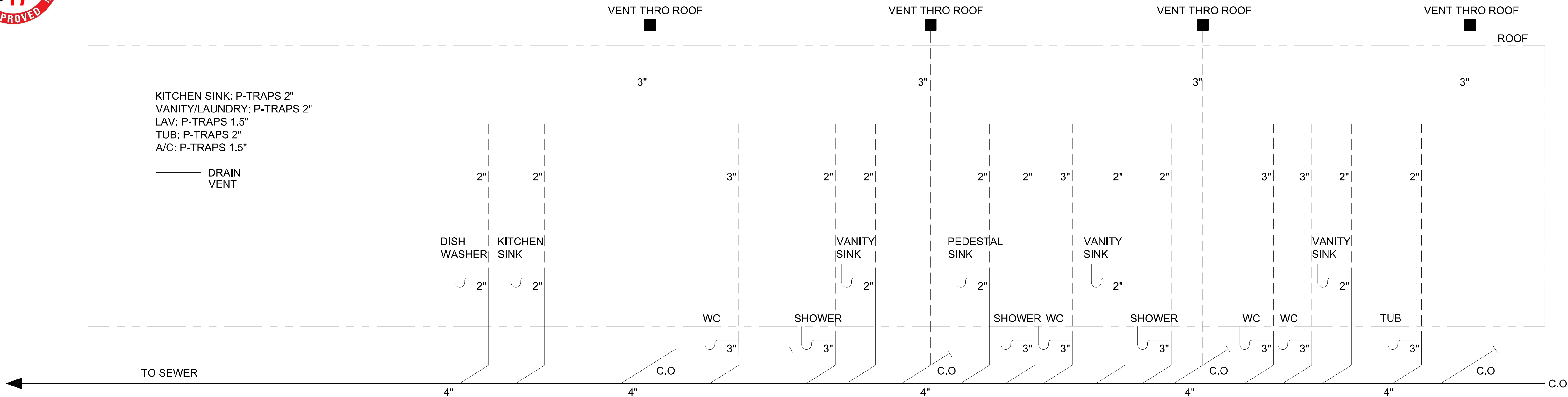
TILE WORK NOTES

- All Bathrooms to have tile floors with a backer board installed.
- Floor tiles in raised houses and on all 2nd floors, a ½" backer board must be installed (structural)-not ¼". Backer board to be set in a v-notched bed of thinset UNDERNEATH the backer board, per manufacturer's specifications. Backer board must also be installed using screws.
- Because of the increased height of bathroom floors, custom wood thresholds to match wood outside of the door, to be installed. Made to allow for a smooth/safe transition at door openings.
- All shower surrounds to be tiled to a height of 8 ft off floor, more or less. Adjust height to fit-so that it lays out to use full tiles as close as possible.
- Shower surrounds to have metal edging on front edges only. Top edge of tile to have no edging.
- Kitchen to have subway tile backsplashes. Do NOT use metal edging in kitchen. Finish edges per typical.

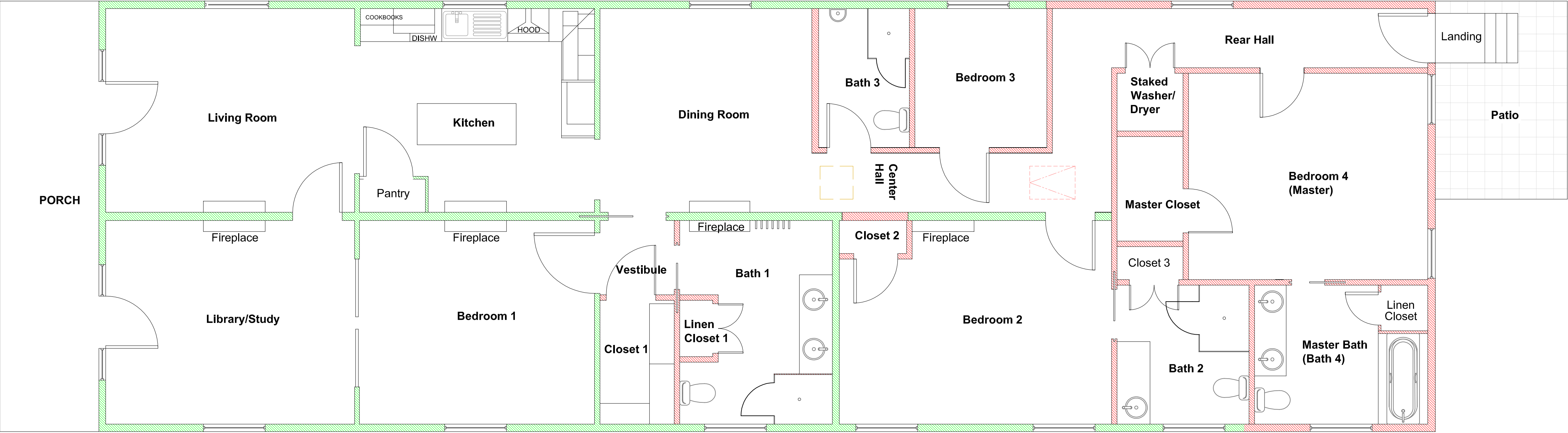


UTILITY CLOSET

FINISHES SCHEDULE	
Flooring Locations	Type of Flooring
Living, Library, Kitchen, Bed No.1, Center Hall, Closet No.1, Dining	Existing wood floors- patch as needed. Sand and finish. Water base polyurethane.
Rear Hall, Bedroom No.2, Laundry, Master Bedroom, Master Closet	Install reclaimed wood floors (match rest of house). Sand and finish. Water base polyurethane.
Bath 1, Bath 2, Master Bath	Tile floors (see Interior Details-Tile Work sheet)
Walls & Ceilings	
All Rooms	New 1/2" gypsum installed per specs. Smooth (level 4 finish) on all sheetrock-No sprayed texture
Ceiling Locations	Height of Ceilings
Living, library, kitchen, bed#1, hall bath, hall, dining	Ceilings to remain existing height, which is 12 ft +/-
Rear hall, laundry, closet, bed#2, master suite	Ceilings to drop down to 10 ft, begining at the entrance to the Rear Hall at Opening D
Millwork Locations	Baseboard, Picture Molding and Crown
Front 4 rooms	Baseboard and picture molding to remain as is. The picture molding will be removed during demo, then reinstalled.
All Rooms	Baseboard-either reuse existing base or buy new to match the exisitng profile. It doesn't have to match exactly if all new is run in a room.
All Rooms	No crown anywhere.



PLUMBING RAISER DIAGRAM
SCALE: 1/4" = 1'



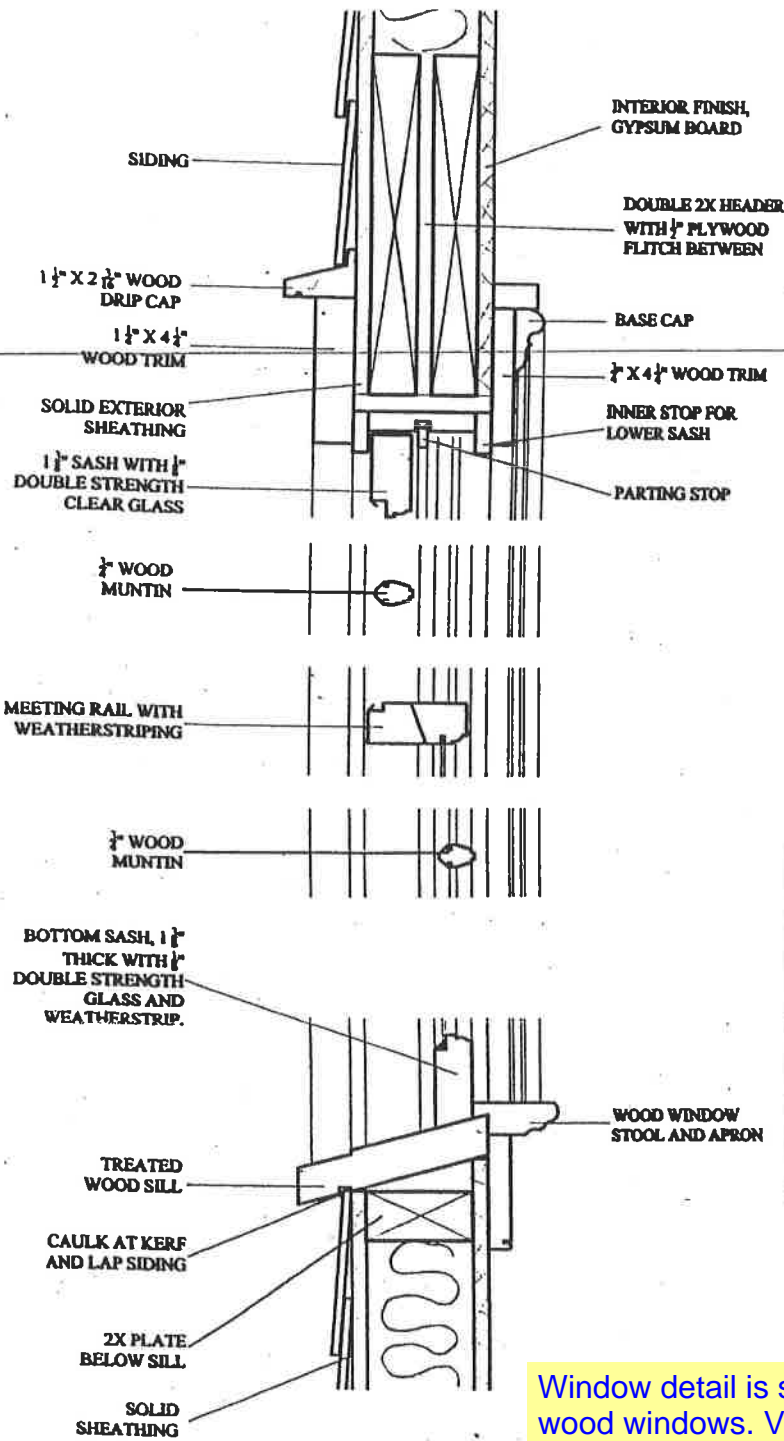
PLUMBING NOTES

- General Contractor responsible for providing Design/Build plumbing services for project.
- Work to comply with all applicable codes. Work to be coordinated and reviewed for compliance with design requirements prior to install.
- All work shall be performed by licensed individuals to perform their said work, as outlined by law.
- See Flor plan for basic plumbing fixtures. Not all equioment and fixtures are shown or noted, plumbing contractor to provide all necessary parts and equipment for complete installation.
- Hot water and drain pipes shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces under lavatories.
- Waste lines and vents P.V.C. SCH 40. supply lines pex.
- Pressure test prior to concealments.
- Fixture selection by owner.

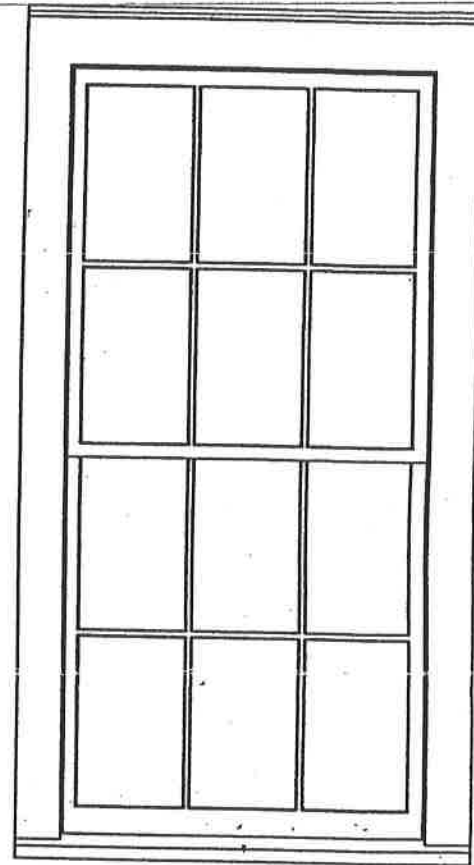
THESE DRAWINGS HAVE BEEN MADE TO A NORMAL DEGREE OF ACCURACY, BUT IN ALL CASSES, CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. CONTRACTOR IS RESPONSIBLE TO VERIFY DIMENSIONS, TO REVIEW DETAILS, CODE REQUIREMENTS AND SPECIFICATIONS PRIOR TO THE START OF WORK SO THAT CHANGES CAN BE MADE TIMELY AND COST EFFECTIVELY.

LOUISIA	
1208-10 LOUISIA ST, NEW ORLEANS, LA 70117	
GENERAL DESCRIPTION	
Designed:	
Drawn:	GURU
Checked:	JG
Approved:	JG
Scale:	1/4" = 1'
Date:	14-11-17
Project No:	
Sheet No:	10

WINDOW DETAIL

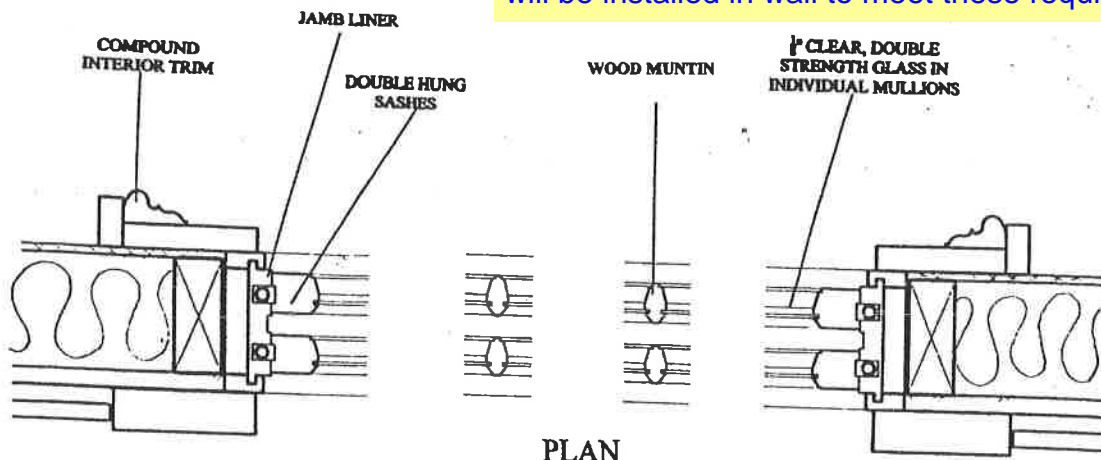


SECTION
3" = 1'



EXTERIOR ELEVATION
1 $\frac{1}{2}$ " = 1'

Window detail is standard for true-divided-light historic wood windows. Vinyl windows must be recess-mounted - applicant must provide accurate section detail of window selection prior to purchase illustrating how selected unit will be installed in wall to meet these requirements



PLAN

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